



Architectural Design Guidelines  
August 2017

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## **1.0 FOREWARD**

These Design Guidelines have been created to ensure all Improvements at The Tree Farm are designed and constructed to complement the surrounding natural beauty of the land. These Design Guidelines are to be used by all Owners, their Design Professionals, and their Builders to guide the design and construction of all Structures and landscapes. The Architectural Review Committee (ARC) will administer and enforce these guidelines in accordance with procedures outlined in this document as well as the Covenants, Conditions, Restrictions and Easements (CC&Rs), the Wildfire Protection Management Plan (WPMP), and the Wildlife Habitat Management Plan (WHMP), and the Rules and Regulations. It is the responsibility of each Owner to review a copy of the most recent version of these Design Guidelines, as they may change over time, and understand them prior to submitting plans to the ARC for review. All of these documents can be found on The Tree Farm website, [www.treefarmbend.com](http://www.treefarmbend.com).

## **2.0 GOVERNING DOCUMENTS**

All development and construction shall conform to the following governing documents. In cases of conflicting requirements, the more restrictive shall be followed.

- A. The version of these Design Guidelines in effect at the date of the Owner's schematic design submittal (or the date of the Owner's remodel, alteration, or addition submittal);
- B. The most current versions of the Wildfire Protection Management Plan (WPMP) and Wildlife Habitat Management Plan (WHMP);
- C. Declaration of Covenants, Conditions, Restrictions and Easements, for The Tree Farm (CC&Rs);
- D. All applicable Deschutes County ordinances, regulations, overlay zones, codes and land use decisions;
- E. Applicable local, state and federal codes and regulations.

## **3.0 THE TREE FARM DESIGN PHILOSOPHY AND SETTING**

While there is not a particular architectural theme for Structures on Homesites in The Tree Farm, there are quality standards to be met and design guidelines to follow in order for the community to sustain its beauty and fire resiliency. The natural setting should encourage design appropriate for the region and each individual Homesite. Structures and landscaping shall be designed with significant consideration of each Homesite's unique characteristics and fire defensibility.

The Tree Farm was designed to respect the land and offer ample opportunity for the residents to enjoy the surrounding landscape. With only 50 Homesites on 100 acres, over 400 acres of the community has been left as permanent open space of forested and high desert landscape. Years of proper forest management practices have produced a fire resilient landscape that is a key feature to enjoying the lifestyle at The Tree Farm. Located in the Deschutes County Wildland Urban Interface (WUI) zone, The Tree Farm is in an area of transition between unoccupied land and human development. The developers (Declarant) of The Tree Farm proactively embraced developing a first of its kind prototype community that adopted fire resilient and defensible practices from the ground up. Defensible landscape zones, fire resistant building materials, and internal fire suppression systems all contribute to maximizing the fire resiliency of the neighborhood.

### **3.1 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS 1141 and 1144**

NFPA standards are practices and guidelines developed and approved by the American National Standards Institute. The Tree Farm has committed to adhering to NFPA Standards 1141 (2012 Edition) and 1144 (2013 Edition) that are applicable to residential land development (1141) and the construction of Improvements on Homesites (1144). These standards present basic criteria for fire agencies, land use planners, architects, developers, and local governments planning development in areas that may be threatened by wildfire. The standards, when used as part of a collaborative approach with Firewise Communities USA, will help protect the lives of both residents and fire fighters in the event of a wildfire, and second, reduce the risk of wildfire spread in the neighborhood. Deschutes County's land use approval for The Tree Farm has incorporated the applicable standards from NFPA 1144 (*Standards for Reducing Structure Ignition Hazards from Wildland Fire*) and NFPA 1141 (*Standard for Fire Protection Infrastructure for Land Development in Wildland, Rural, and Suburban Areas*) for the construction of residential structures. These

standards are intended to enhance the defensible space and provide direction to Design Professionals and Builders on construction methods to make Improvements more wildfire resistant. In a commitment to aid Deschutes County in becoming a Fire Adapted Community, Declarant has designed a neighborhood with fire prevention as a top priority.

The applicable standards from NFPA 1144 and 1141 have been incorporated throughout these Design Guidelines and included as an appendix. Many of the building standards will be met by complying with the Oregon Building Code. However, Owners and Design Professionals should refer to Appendix D for the complete list of Applicable NFPA Standards. In cases of conflicts among the applicable NFPA standards and any local building code, the more stringent fire protection requirements shall be utilized as determined by the ARC.

### **3.2 WILDFIRE PROTECTION MANAGEMENT PLAN**

Fire prevention and protection are key priorities at The Tree Farm. The Tree Farm Homeowners' Association (Association) is committed to being a fire resistant neighborhood and a Firewise/USA Community (see [www.firewise.org](http://www.firewise.org)). Wildfire mitigation disciplines will be used by Owners to manage combustible vegetation on their respective Homesite and fire resistant building materials will be used in the construction of Structures to reduce the threat and intensity of damage to personal property and the adjacent forest caused by wildfire. The Association will manage the common areas and open space utilizing the same wildfire mitigation disciplines.

Owners are required to adhere to The Tree Farm Wildfire Protection Management Plan (WPMP) and follow specific planning and design considerations. The WPMP will be adhered to by all Owners and enforced by the Association, Deschutes County and the local fire department. The applicable standards from the WPMP have been incorporated throughout these Design Guidelines and included as Appendix E.

### **3.3 WILDLIFE HABITAT MANAGEMENT PLAN**

The western Homesites (lots 37, and 39-50) of The Tree Farm property are within a designated mule deer winter range. Deschutes County ordinances require residential developments like The Tree Farm to comply with its Wildlife Area (WA) Combining Zone which requires the preservation, protection and enhancement of wildlife habitat. Significant thought and care was taken by the Declarant to develop a plan that accommodates the mule deer winter range while also maintaining an acceptable level of wildfire management treatments. As part of Deschutes County's land use process for The Tree Farm, a Wildlife Habitat Management Plan (WHMP) was developed and adopted as part of the approval. This plan will be adhered to by all Owners and visitors and managed and enforced by the Association and Deschutes County. The applicable standards from the WHMP have been incorporated throughout these Design Guidelines and included as Appendix F.

## **4.0 THE TREE FARM DESIGN REVIEW PROCESS**

All Improvements planned for a Homesite require prior approval from The Tree Farm ARC. Approvals or denials are based on the ARC's review of an Owner's plans depicting the design of the proposed structures and landscape improvements. Below is an outline of the steps required in The Tree Farm design review process.

### **4.1 SELECT A DESIGN PROFESSIONAL**

All Design Professionals must be approved by the ARC through an application process (see Appendix G for the Design Professional Application). It is essential that your Design Professional read and become familiar with these Design Guidelines and CC&Rs to make the design review process as efficient as possible.

A Landscape Professional is required to be a part of your design team to prepare the Landscape Plan, as the landscape requirements include three different landscape zones surrounding the Structures on a Homesite. The landscape plan depicting these zones is of utmost importance to the overall approval of the submittal.

The ARC requires a topographical survey to be prepared by a licensed land surveyor and a grading and drainage plan prepared by a licensed civil engineer or landscape architect. Additionally, a vicinity map showing surrounding structures, slopes, vegetation,

fuel breaks, and access roads within 300 feet of the Homesite's property lines is required (NFPA 1144 section 5.1.2.2). The Declarant has mapping of slopes and built structures available to assist Owners upon request.

## **4.2 SELECT A BUILDER**

Owners shall select a licensed building contractor to construct Improvements on a Homesite. The selected Builder must be approved by the ARC through an application process prior to your construction start (see Appendix H for the Builder Application). Owners may apply to the ARC to act as the Builder, but also must be approved by the ARC. It is essential that the Builder be familiar with these Design Guidelines and construction practices and requirements of building in Central Oregon.

## **4.3 SITE VISIT and PRE-DESIGN MEETING**

Once the Design Professional has been selected and approved by the ARC, a site visit with the Owner, the Owner's design team, and ARC is required prior to a schematic design submittal. This on-site meeting provides an opportunity to review the physical attributes of the Homesite (including setbacks, trees, views, and rock outcroppings), the conceptual design for the Improvements (including driveway location, construction area and parking plans), and to address any questions about the Design Guidelines and review process. This informal meeting is intended to offer guidance prior to initiating any significant design work.

The site visit and pre-design meeting can save time, effort and resources by identifying potential opportunities and conflicts between design ideas and the Design Guidelines.

See Appendix J for the Site Visit and Pre-Design Meeting application.

## **4.4 SCHEMATIC DESIGN SUBMITTAL, FEES and DEPOSIT**

After the site visit and pre-design meeting, a schematic design (preliminary design) is prepared and submitted to the ARC for review. It is preferred that the Design Professional attend and present the Schematic Design at the ARC Schematic Review Meeting. To ensure that the submittal is complete, see Appendix K for the Schematic Design Submittal Form and Checklist.

A non-refundable ARC Review Fee of \$5,600.00, along with a refundable deposit of \$1 per square foot of total square footage of all Structures is required with the submittal of the schematic design. The non-refundable ARC Review Fee includes the cost of the plan review, reviewing consultants, inspections, and the permanent address marker for each Homesite.

Schematic design submittals must be submitted at least two (2) weeks prior to the next scheduled ARC meeting in order to be placed on the meeting agenda. Refer to Appendix K for a complete list of the required submittal materials. Based on the ARC's review, additional submittals may be required.

## **4.5 FINAL DESIGN SUBMITTAL**

Following the approval of the schematic design submittal, a final design is prepared and submitted to the ARC for review. To ensure your final design submittal is complete, see Appendix L for the Final Design Submittal Form and Checklist. The final design, including a site plan, grading plan, elevations and construction details, sample color board, landscape plan and Final Design Submittal Form and Checklist must be submitted at least two (2) weeks prior to the next scheduled ARC meeting in order to be placed on the meeting agenda. Final design approval is valid for 18 months; if Improvements have not started by then a new submittal and fees are required.

In addition to architectural drawings, the Final Design Submittal requires a sample color board and a landscape plan. Refer to Appendix L for a complete list of the required submittal materials.

## **4.6 ARCHITECTURAL REVIEW**

The ARC will review submitted plans at its regularly scheduled meetings or at special meetings called by the chair of the committee. Decisions of the ARC will be communicated in writing to the Owner and Design Professional.

The review process will include a wildland fire hazard assessment of the planned structures, landscape plan, and surrounding

conditions. The review will be conducted by the qualified fire consultant member of the ARC. The review will generate a wildland fire hazard mitigation plan which will be incorporated into the ARC's written decision. See the Home Ignition Zone Structure Assessment Guide in Appendix R.

#### **4.7 BUILDING PERMIT**

Owners must obtain building and septic permits from Deschutes County, in addition to final approval from the ARC, prior to commencing the construction of any Improvement on the Homesite. Deschutes County may have additional submittal requirements which must be met before they will issue a Building Permit. Any changes to the site plan, building(s), or landscape improvements required by Deschutes County must be submitted for review and approval by the ARC before they are constructed. Visit [www.deschutes.org](http://www.deschutes.org) for current building permit information.

#### **4.8 ON-SITE VISITS**

During construction of the Improvements, ARC representatives will visit the site periodically to ensure that construction conforms to the approved plans and construction rules are being followed. It is imperative that Improvements are constructed as approved.

#### **4.9 PROJECT COMPLETION/FINAL INSPECTION**

Owners are required to complete all construction and request a final inspection within 24 months of breaking ground. Not completing construction within the required timeframe may result in loss of the ARC refundable deposit, fines or additional fees. A final inspection by the ARC shall be requested by the Owner to initiate an on-site inspection to ensure that the completed Improvements are consistent with the approved plans. The ARC will provide a follow up letter after the on-site inspection stating an approval or noting any non-conforming or incomplete items.

If necessary, a period of 60 days (unless otherwise agreed upon) from the final inspection will be allowed for remediation of any non-conforming or incomplete items. After this time period, a second final inspection will occur, and if any remaining non-conforming issues exist, there will be a 30-day period for remediation. After the 30-day period, charges for any remediation and additional site visits will be deducted from the ARC refundable deposit. Ultimately, non-compliant Improvements are subject to the legal remedies provided in the CC&Rs.

The Owner must submit an electronic set of as-built plans to the ARC, in PDF format, on a Compact Disk (CD).

Once an approval of all completed construction is granted, the remaining balance of the ARC refundable deposit will be returned to the Owner. See Appendix M for the Final Inspection Request Form.

#### **4.10 ARC DECISION APPEAL PROCESS**

The Association Board of Directors will serve as the Appeal Committee that will hear an appeal of a final ARC decision. Final decisions of the ARC may be appealed up to thirty (30) days after the decision is provided to the Owner. Only the Owner going through the ARC process may appeal an ARC decision. Notwithstanding the foregoing, in the event that an appeal is filed with the ARC during such 30 day period, such appeal shall toll the decision. In that case, the ARC decision shall not be deemed final.

The Owner appealing his/her final ARC decision should submit the appeal in writing along with a \$500.00 appeal fee in the form of a check made out to The Tree Farm Homeowners Association. The Appeal Committee may, at its sole discretion, refund a portion of or the entire fee based on the circumstances and outcome of the appeals process.

The Appeal Committee shall use reasonable efforts to hear and decide all appeals within thirty (30) days of receipt of the written appeal and appeal fee. The ARC will notify the Owner of the appeal date and the Owner and ARC shall be permitted a reasonable amount of time to present his or her appeal to the Appeal Committee. The Appeal Committee will review and consider comments and information provided by both the ARC and the Owner making the appeal.

All decisions rendered by the Appeal Committee are final.



## 4.11 DESIGN CHANGES

Any proposed design changes considered during the course of construction that impact the exterior appearance of the approved Structures, or the approved landscape improvements, must be reviewed and approved by the ARC before being constructed. Change requests must be submitted in writing and be complete in order for the ARC to review and provide an approval. Unapproved changes may result in corrective action and/or fines per the Fee and Fine Schedule (Appendix O).

## 5.0 SITE GUIDELINES

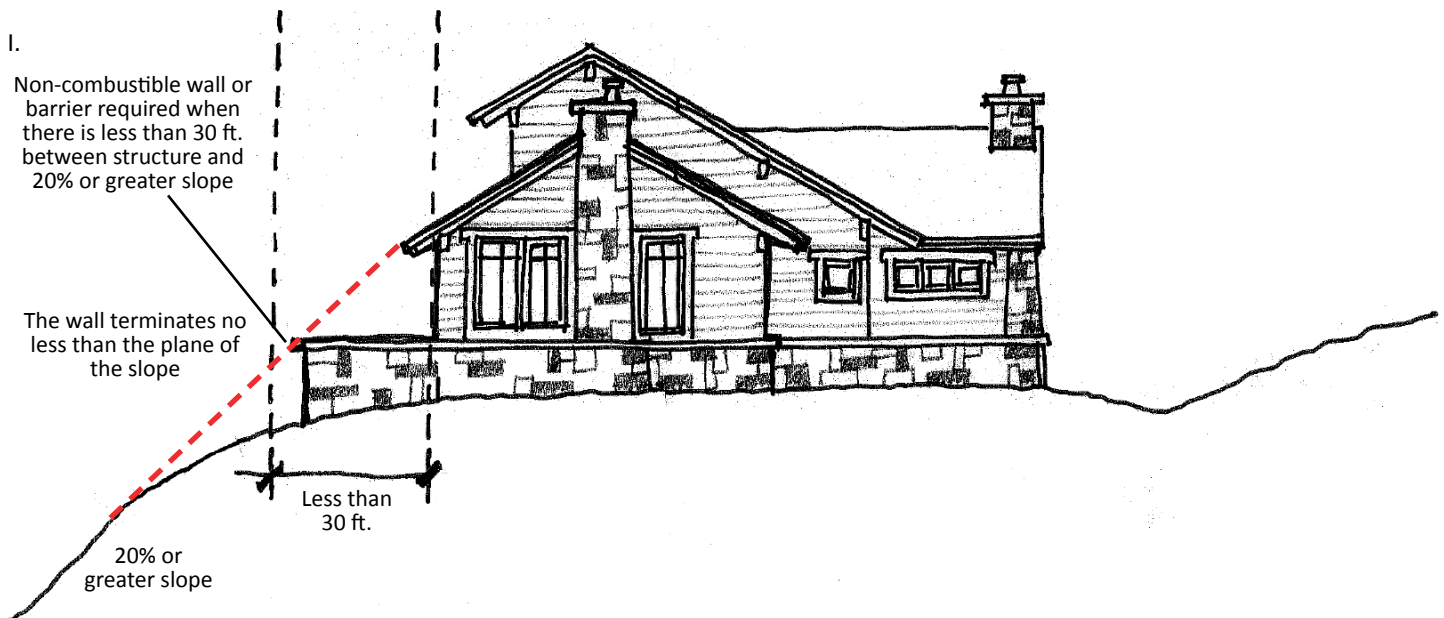
The site guidelines below are intended to help Owners, Design Professionals and Builders in creating a comprehensive design that complements the landscape and natural setting. These guidelines must be followed in the schematic design and final design submittals.

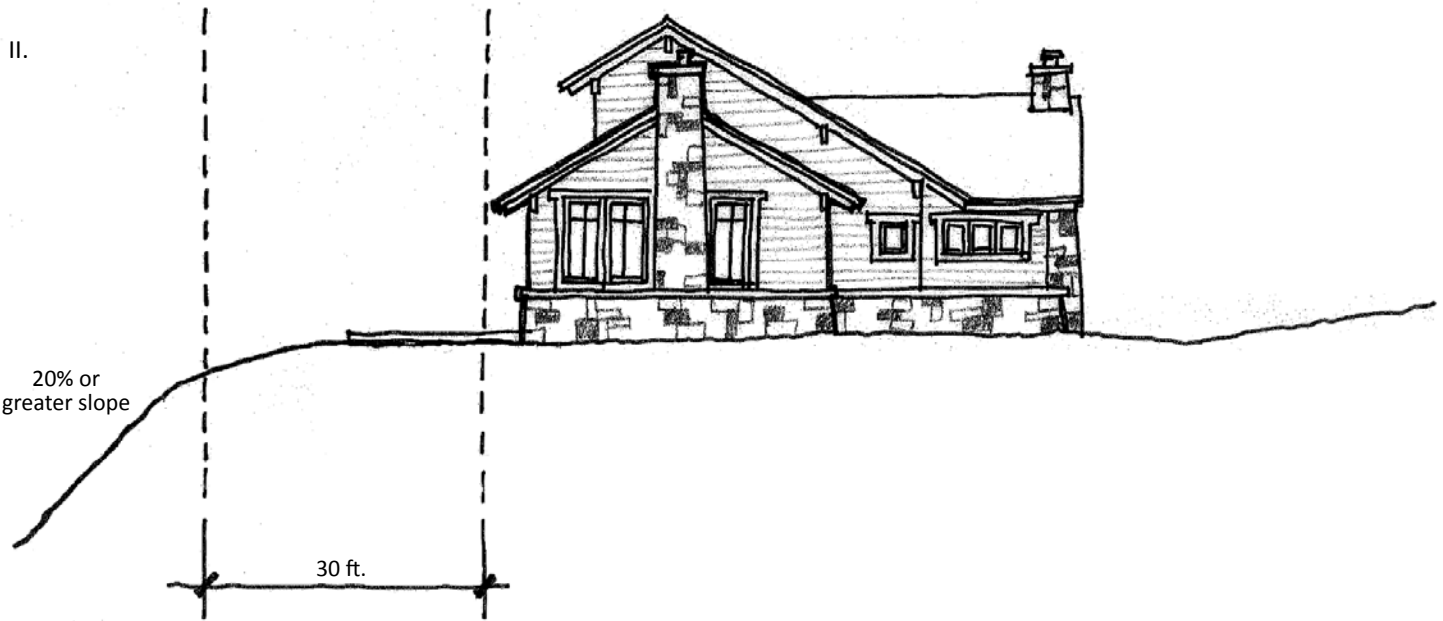
### 5.1 BUILDING ENVELOPE and SETBACKS

Structures, including the Residence, accessory buildings, garages, roof overhangs, walls and screening structures, decks, porches, and landscaped gardens must be placed within the Building Envelope (the area within the setbacks). The designated Building Envelope shall be defined by the following setbacks from the Homesite's property lines (but may vary Homesite to Homesite – owners must confirm setbacks on the recorded plat):

- A. Front setback: minimum of 30 feet
- B. Side setbacks: minimum of 30 feet
- C. Rear setback: minimum of 50 feet
- D. Special open space setbacks in the Wildlife Area overlay zone applicable to Homesite 37, and Homesites 39- 50: property lines adjacent to open space have a minimum setback of 100 feet (See recorded plat)
- E. Special rear setbacks from slopes of 20% or greater apply to Homesites 1-4, 5-7, 15-17, 22 and 23: setbacks vary by Homesite and are identified on the recorded plat.

**NOTE:** The ARC reserves the right to require non-combustible site walls on Homesites where there is no defensible space within 30 feet of a 20% slope and any Structure (see NFPA 1144, 5.1.3.2 and 5.1.3.3). The wall shall terminate no less than the plane of the slope. The exhibits below illustrate this.





Non-combustable walls or barriers not required where structures are located further than 30 ft. back from a vegetated slope of 20% or greater.

- F. All Structures shall be separated from another Structure by at least 30 feet and shall be set back at least 30 feet from a property line. If adjacent Structures are both protected with automatic sprinkler systems meeting NFPA 13, Standard for the Installation of Sprinkler Systems, the separation between the Structures shall be permitted to be reduced to 15 feet.
- G. If an Accessory Building is 400 square feet or less in ground floor area, the separation from the Residence shall be permitted to be reduced to 15 feet, and the accessory building is not required to be protected with an automatic sprinkler system. If located 30 feet or beyond from Residence, automatic sprinklers are not required.

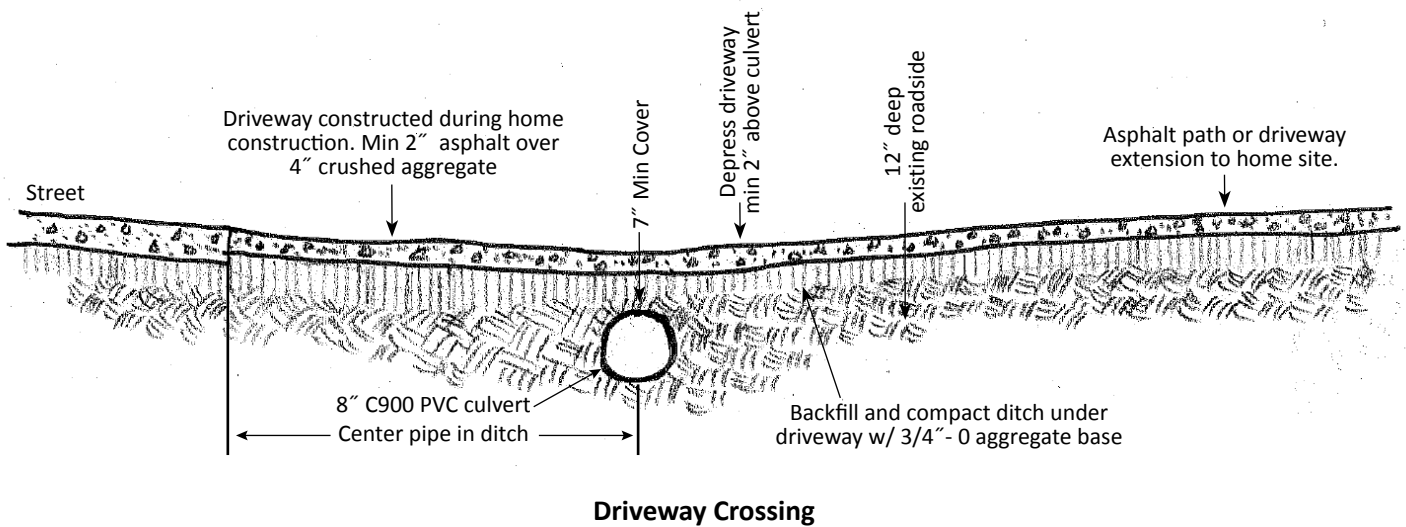
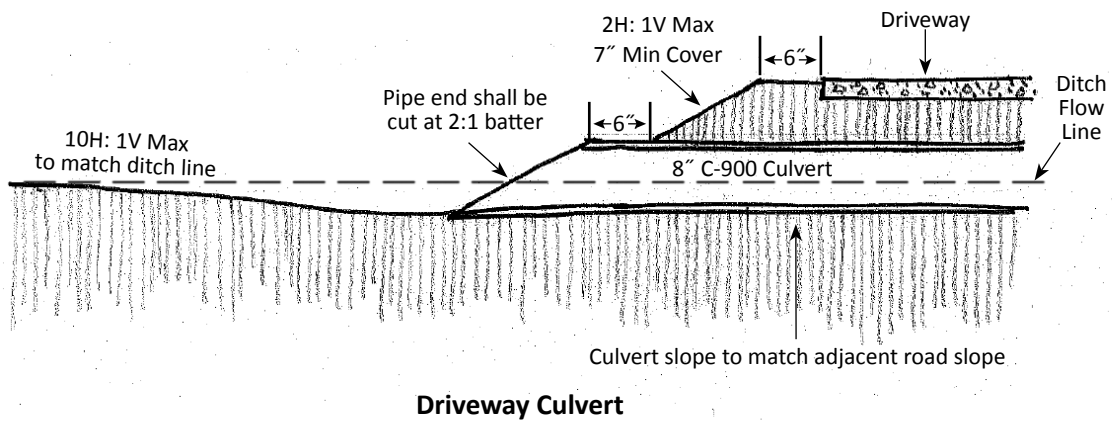
See Section 6.4 of these Design Guidelines for building height restrictions related to rear setbacks.

## 5.2 DRIVEWAYS

Driveways shall be at least 12 feet wide, and a maximum of 16 feet wide, and have at least 13 ½ feet nominal vertical clearance from Structures or tree limbs maintained over the full width. Allowed driveway surfaces include asphalt, concrete, and concrete pavers. Other surface materials will be considered, but must be approved by the ARC. Driveway access width shall not exceed 22 feet at the entry apron. The driveway must then reduce to the allowed maximum width within 20 feet of the property line. Driveways shall not enter side or rear setbacks. However, the ARC may approve minimal encroachment into the setbacks to address site-specific challenges.

Owners are required to install a culvert underneath the driveway at the street frontage for drainage purposes. The ARC will consider alternative designs for the culvert where a driveway connection to a street will not materially impede drainage. See detail below for an example of a typical culvert construction and installation.

On Homesites where the driveway intersects the asphalt pathway, Owners are responsible for cutting the asphalt pathway and removing it in their driveway area during the construction period. The new driveway material (concrete pavers, concrete, or asphalt) will replace the asphalt pathway in order for there to be a seamless driveway. The Owner will be responsible for repairing the asphalt pathway to the edge of the driveway, and repairing any damage done to drainage ditch during construction.



### 5.3 FENCES, SCREENING STRUCTURES and PRIVACY WALLS

No fences or boundary hedges shall be installed on a Homesite without prior written approval of the Architectural Review Committee. Owners must locate surveyor's pins marking boundary corners before construction of any permitted fences. The following general fencing types will be allowed within The Tree Farm.

- A. Boundary Fencing. No perimeter fencing is allowed on Homesites; provided, however, a wood split rail fence will be permitted on a Homesite property line that abuts open space (including land owned by governmental agencies or special districts) or Common Area. For any such property line fencing, the distance between the ground and the bottom strand of board of the fence shall be at least fifteen (15) inches and the top height of the fence shall not exceed forty-eight (48) inches above ground level. Invisible fencing will also be an acceptable boundary fence material and must be installed at least ten (10) feet inside a property line.



- B. Garden Fencing. Welded wire fencing up to eight (8) feet in height will be permitted only for the purpose of restricting wildlife access to garden or landscaped areas on a Homesite. The total enclosed area may not exceed 2,500 square feet, and must be within the Building Envelope.



- C. Privacy Fencing. Fencing may be constructed on the Homesite provided it connects to a Structure located on the Homesite, it doesn't exceed five (5) feet in height from the native ground, is within the Building Envelope, and is limited to enclosing a maximum area of 5,000 square feet. A courtyard fence or wall may have a visually open artistic treatment above the 5' limit, but in no situation be taller than 6'. All must be reviewed and approved the ARC. Larger enclosed areas must be reviewed and approved by the ARC. Use of non-combustible material is encouraged. Non-combustible material (such as steel or metal) should be used where the fence connects to a Structure or Residence for a minimum distance of three (3) feet. The ground beneath the fence shall be maintained with non-combustible material for an area of ten (10) inches on either side of the fence. Screening structures and privacy walls (fencing) attached to any Structure must match the overall architectural design of the Structure, and should not be designed to screen the street elevation of the Residence.

#### **5.4 WASTE and RECYCLING CONTAINER STORAGE**

Waste and recycling containers must be stored in an area screened from view by adjacent Homesites and from the road. Debris and waste materials must always be placed in containers in the storage area to prevent fire hazards.

#### **5.5 OUTDOOR FIREPLACES/FIRE PITS, BARBEQUES, WALKWAYS, AND POOLS**

Outdoor gas fireplaces and gas fire pits with ceramic logs, decorative rock or glass are permitted inside the Building Envelope. Combustion chambers must be elevated above grade, or must be surrounded by an elevated noncombustible fire ring. Combustion chambers must also be surrounded by a non-combustible surface at least four (4) feet in each direction. Outdoor wood-burning devices are prohibited. Outdoor gas fireplaces, and permanent fire pits and barbeques require ARC review and approval.

Walkways must be shown on the site and landscape plans. Asphalt, concrete, stone or concrete pavers, brick or crushed granite are all allowed surfaces for walkways.

In-ground pools and spas are permitted and must be shown on the site and landscape plans. Above-ground spas are permitted, but must be screened from view at ground level by neighboring Homesites and roadways. Permanent above-ground pools are prohibited; only seasonal above ground pools are allowed.

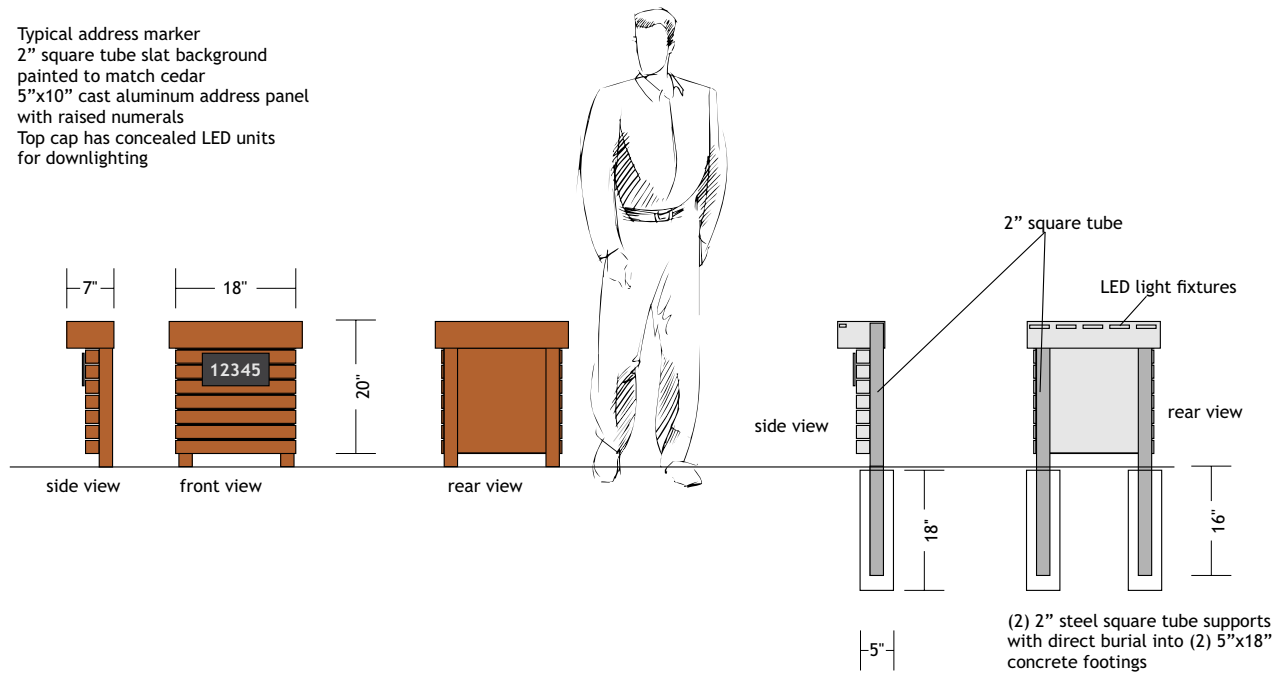
#### **5.6 FIREWOOD STORAGE**

Firewood is not permitted to be stored outside unless it is in an enclosed, fire-resistant Structure.

#### **5.7 SIGNS**

Address Marker production and delivery is coordinated by the Declarant or Association for each Homesite. Owners must coordinate installation of the address sign with the ARC prior to final approval of the Improvements. See diagram below for installation requirements. Installation is at owner's expense.

Typical address marker  
 2" square tube slat background  
 painted to match cedar  
 5"x10" cast aluminum address panel  
 with raised numerals  
 Top cap has concealed LED units  
 for downlighting



One For Sale Sign is permitted on a Homesite, and shall not exceed 18 by 24 inches.

## 5.8 FLAGPOLES

Flagpoles are permitted, but the location on the Homesite must be submitted for review and approval. Flagpoles shall not exceed 30 feet in height above native ground.

## 5.9 DRAINAGE and RETENTION

Site drainage must be designed to prevent runoff from impervious surfaces (roofs, driveways and other paved surfaces) flowing into the road, or onto adjacent Homesites and common areas. Site plans must demonstrate this prevention with the inclusion of drainage swales or retention areas. These retention areas must be designed to appear natural.

Swales should be vegetated and graded in a manner to create a natural appearance. Wide, shallow swales are preferred over narrow, deep swales.

## 5.10 SEPTIC SYSTEMS

Septic systems are required by Deschutes County on each Homesite. Owners and their Design Professionals should contact the Environmental Health Supervisor at the Community Development Department (see [www.deschutes.org](http://www.deschutes.org) for contact information) to secure the most current septic system requirements. The Declarant and Deschutes County has performed preliminary site evaluations on each Homesite; the report will be available to Owners upon request to the Declarant or Association.

## 6.0 ARCHITECTURAL GUIDELINES

In addition to the site guidelines, the architectural guidelines below are intended to help guide Owners, Designer Professionals and Builders in creating Structures that complement the landscape and natural setting. These guidelines must be followed in the schematic design, final design and any remodel/alteration/or addition submittals.

## 6.1 DESIGN INTENT

While there is no required architectural theme to follow in The Tree Farm, the high desert and forested setting naturally beckons thoughtful and integrated architecture that works with existing topography and the colors and textures of the surrounding environment. All of the landscapes and buildings within The Tree Farm are expected to employ high standards. High standards for design and construction will ensure that Structures are considerate to the site and to surrounding buildings.

## 6.2 GENERAL DESIGN CONSIDERATIONS

Textures, colors, materials, shapes, and forms that are compatible with Central Oregon shall guide the design process. Owners and their Design Professionals are required to pay special attention to the siting of all Structures on the Homesite, specifically in relation to existing grades, existing trees and natural rock outcroppings. Building masses shall blend with the varying topography and follow natural grade.

The Tree Farm's commitment to fire protection and prevention is apparent in exterior building material requirements, the requirement for indoor fire sprinkler systems, and defensible landscape zones. These requirements do not restrain thoughtful, creative and beautiful design, but must be considered and implemented when designing all Improvements.

## 6.3 ACCESSORY BUILDINGS

Detached garages, greenhouses, playhouses, storage buildings, and other detached Structures must be architecturally consistent with the Residence. All Accessory Buildings require ARC review and approval.

## 6.4 BUILDING HEIGHT

No Improvement shall exceed 30 feet in height with the exception of the top of a chimney. The ARC measures height by determining the average between the highest and lowest points of existing elevation (or finished elevation if lower than existing) along the perimeter of the building foundation and deducting that average from the proposed elevation of the highest roof ridge. Foundations supporting roofs over decks, patios, etc., are to be considered as part of the building foundation.

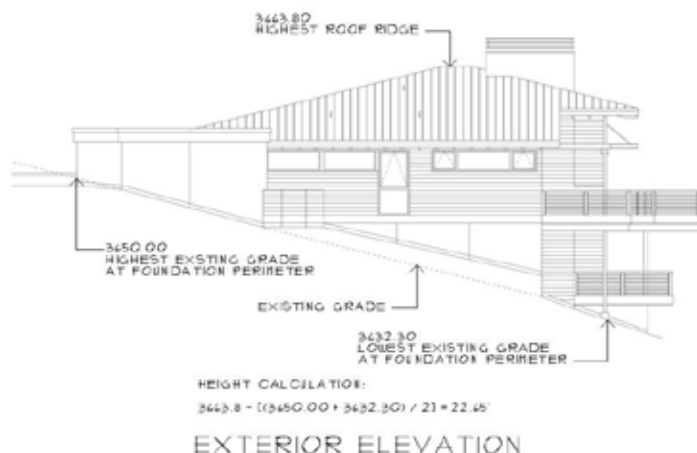
For homesites #1-7 and 15- 25 at the rear setback line, improvements are limited to being 15 feet high, measured from the natural or finished grade, whichever is the lowest. The height can increase 1 foot for every foot inside the rear setback line, up to 30 feet in height. See Appendix Q for examples of how to measure the height of an Improvement in general.

## 6.5 BUILDING SQUARE FOOTAGE and HOMESITE COVERAGE

Limitations on the total combined square footage of all Structures, including attached garages and Accessory Buildings are as follows:

- ❑ Minimum: 2,500 s.f.
- ❑ Maximum: 14,000 s.f.

Structures may not cover more than 50% of the Building Envelope. Due to the limited size of their Building Envelope, the ARC reserves the right to grant variances to this 50% Homesite Coverage limit on Homesites 1 and 37.



On homesites 1-7 and 15-25, if a structure is built on the rear setback line, it is restricted to a height of 15 feet, measured from natural or finished grade, whichever is lowest. The height can increase one foot for every foot inside the rear setback line, up to 30 feet in height.

## 6.6 CHIMNEYS and FIREPLACES/WOOD STOVES

The ARC requires all venting for fireplaces to be located within a chimney element or completely screened. Raw or non-treated metal fireplace vent pipes are not allowed. All metal used for fireplace venting and concealment shall be painted or treated to eliminate glare and reflection. Chimneys shall include an approved spark arrestor constructed of a minimum 12-gauge welded wire or woven wire mesh, with openings not exceeding ½ inch (12.7 mm). Spark arresters and gas vents must be concealed from view by an approved chimney cap detail. Vegetation shall not be allowed within 10 feet (3 m) of a chimney outlet.

Wood burning indoor fireplaces and wood stoves are allowed. To preserve the quality of air and protect against wildfires, natural gas ceramic-log fireplaces are encouraged.

## 6.7 EXTERIOR BUILDING MATERIALS and COLORS

Where exterior walls are potentially exposed to a wildland fire, building materials shall meet the following requirements for ignition resistance:

- Heavy timber construction, (minimum of 8x8 when supporting a load)
- Ignition-resistive material,
- Fire retardant-treated wood, or
- Be a 20-minute fire-rated assembly

Additionally, building materials in general should convey the appearance of quality, permanence/durability, strength, and authenticity. The following building materials are specifically prohibited from being used:

- Reflective or bright colored materials
- Pressed board and plywood
- Vinyl or plastic siding
- Plain concrete block
- Exposed plain concrete (except that up to 8" of exposed foundation)
- Mirrored window glazing

The ARC reserves the right to approve the use of the materials on the above prohibited materials list on a case-by-case basis. Limited accent materials such as brushed aluminum, brass, bronze, copper etc. will be reviewed on a case-by-case basis and will generally need to have a patina prior to installation.

All projections (exterior balconies, carports, decks, patio covers, unenclosed roofs and floors, and similar architectural appendages and projections) and undersides of cantilevered buildings and supporting structural elements shall be constructed of heavy timber construction; noncombustible materials, fire-retardant-treated wood, or other ignition-resistant materials; or be a 1-hour fire-rated assembly.

The colors of all exterior materials should generally complement the architecture and blend with the homesite and native landscape.

When stone or brick masonry is used on the front of a home and it extends to any front corner, it must extend at least 2 feet around the adjoining side elevation. If the masonry does not extend to a front corner, it must terminate on an inside corner of the façade.

## 6.8 ROOFS

Allowed roof materials include: concrete tile, slate, clay tile, high-relief style asphalt composition shingles, metal (minimum of 24 gauge and minimally reflective), or other roof coverings equivalent to ASTM E 108, *Standard Test Methods for Fire Tests of Roof Coverings*.

Roof gutters, downspouts, and connectors shall be noncombustible and covered with an approved means to prevent the accumulation of debris.

All roof vents, plumbing vents, flues, and exterior mechanical equipment should be collected, centralized and located away from the main view of the Structures from the entry driveway, or from the road. Where practical, flue locations within chimneys are encouraged.

Eaves shall be boxed in with 5/8- inch (15.5 mm) nominal sheathing (Tongue & Groove is acceptable—minimum thickness is 5/8”) or noncombustible materials or be protected with 2- inch (50 mm) nominal solid blocking between exposed rafters at all roof overhangs, under the exterior wall covering on all sides exposed to native vegetation. Eave overhangs that are large with board soffits and exposed, oversized framing members are encouraged. See section 5.3.5 of NFPA 1144 in Appendix D for additional requirements on roof construction.

## **6.9 WINDOWS and SKYLIGHTS**

Windows, glass exterior doors, and skylights shall be tempered glass, multilayered glazed panels, glass block, or have a fire resistance rating of no less than 20 minutes (dual pane windows satisfy this requirement). Window screening shall be noncombustible mesh and installed to prevent the collection of firebrands and embers or their entry into open windows.

Window spec sheets must be provided for ARC review and approval.

Exterior solar shades may be installed and shall be made of fire resistant material, but must be reviewed and approved by the ARC on a case-by-case basis.

## **6.10 DOORS**

Exterior doors shall be solid-core wood no less than 1.75 inches (45 mm) thick, approved noncombustible construction, or have a fire protection rating of no less than 20 minutes.

## **6.11 PROJECTIONS, PORCHES, DECKS and PATIOS**

Covered patios, decks and outdoor living spaces are encouraged and must be located inside the Building Envelope and shown on the site and landscape plans. Pavers and concrete patios or wood-alternative composite decking are preferred surfaces, but wood decks are allowed.

Wood decks greater than 12 inches above the ground must be kept clear of dead vegetation and other highly combustible items underneath. Visible undersides of framed decks must be treated as finished elements and constructed to blend with the building’s exterior. Exposed undersides of overhanging structures, and supporting structural elements, built on hillsides are prohibited.

Overhanging projections like balconies, carports, patio covers, unenclosed roofs and floors (and similar architectural extensions) shall be constructed of heavy timber construction, noncombustible material, fire-retardant-treated wood, or other ignition-resistant materials; or be a 1-hour fire rated assembly.

## **6.12 EXTERIOR LIGHTING**

The objective of the exterior lighting requirements is to allow building and landscape lighting designs that are understated and do not create nighttime showcase or presentation effects. All exterior lighting must minimize glare and annoyance to neighboring Homesites. All exterior lighting, including landscape lighting, must be reviewed and approved by the ARC. The ARC may limit the use and/or require shielding of any lights, including recessed “can” lights, that may impact neighboring Homesites, common areas, or roadways due to impacts created by sloping topography.

Building Lighting – Generally, only two fixtures with a visible light source to identify the front door entry of a Residence are allowed. These two light fixtures are limited to 60-watt incandescent or equivalent lamps (900 lumens). The fixtures with visible light sources may not have clear glass lenses, only minimally translucent lens materials are allowed. Additional fixtures with visible light sources will be considered by the ARC if the lighting is determined to be appropriate for the architecture, needed for



vehicular and pedestrian way finding, or for safety purposes.

All other exterior building light fixtures must have downward-directed light sources which are completely shielded with an opaque material.

Outdoor holiday lighting is permitted for a temporary time frame, not to exceed 30 days following the holiday. See the current Rules and Regulations for the current standards.

Landscape Lighting – Landscape lighting, particularly up lighting, shall be limited to being indirect and/or subtle. No landscape lights, including driveway lighting, whose direct source is visible from a neighboring Homesite shall be allowed.

### **6.13 GARAGES, GARAGE DOORS and PARKING**

Garages may be either attached or detached, but must be consistent with the Residence's exterior design and materials. The maximum height of a garage door is eight (8) feet; however one door, up to 14 feet tall is allowed as long as it does not face the road. Exceptions require ARC approval.

In general, garage doors shall be consistent with the adjacent architectural details and materials. Where three (3) or more garage bays are planned, every two (2) bays must offset the additional bays by at least two (2) feet. Each Homesite must have a minimum of two (2) guest parking spaces, in addition to the enclosed garage space.

Recreational vehicles, motor homes, disabled vehicles, campers, boats, boat trailers, recreational trailers, or other types of non-passenger vehicles, equipment, implements or accessories shall be screened from public view and the view from adjacent Homesites by a garage or approved screening, which is consistent with the Residence exterior design.

### **6.14 UTILITY and METER CONNECTIONS**

All utility meters (gas and electric) should not be visible from roadways or neighboring Homesites. They shall be installed according to the guidelines provided by the utility companies. All meter housings and junctions must be painted to match the adjacent siding color of the house. Utility feeds to the house shall be located in conduits within the foundation and Structure wall. Utility boxes are to be recessed into the wall with a removable access panel. Exceptions require ARC approval.

Utility companies shall have the right to install, maintain and operate their equipment above and below ground and all other related facilities within the Public Utility Easements (PUE) identified on the plat map as may be necessary or desirable in serving the Homesites, including the right of access to such facilities and the right to require the removal of any obstructions including trees and vegetation that may be placed within the PUE at the Homesite. At no time may any permanent structure be placed within the PUE or any other obstruction which interferes with the use of the PUE without prior written approval of the Utility companies allowed to use the PUE.

### **6.15 ANTENNAE and SATELLITE DISHES**

Satellite dishes or antennae shall not be larger than 24 inches in diameter. The dishes and their hardware must be attached to a Structure in an inconspicuous location as determined by the ARC. Their location must be shown on the building elevations and reviewed and approved by the ARC.

### **6.16 HVAC, SOLAR PANELS, SPECIAL EQUIPMENT**

All exterior HVAC equipment must be screened from view from neighboring Homesites, Common Areas and roadways. Screening materials and details must be consistent with the architecture of the Residence.

Solar and passive solar designs are encouraged. Roof top solar applications must be mounted to minimize visibility and be integrated into the building's architecture, with all visible frame and hardware components coordinated with their backgrounds.

## 6.17 VENTING (Attic and Foundation)

Vents (including attic and foundation) shall be screened with a corrosion-resistant, noncombustible wire mesh with the mesh opening not to exceed 1/8 inch in size. No attic ventilation openings or ventilation louvers shall be permitted in soffits, in eave overhangs, between rafters at eaves, or in other overhanging areas on exposures facing hazardous vegetation as determined by the ARC.

## 6.18 INDOOR FIRE SPRINKLERS

All Residences are required to have an automatic sprinkler system installed in accordance with NFPA 13D, *Standard for the Installation of Sprinkler Systems in One- and Two- Family Dwellings and Manufactured Homes*. Refer to Section 5.1 for building separation requirements, or exceptions, with the installation of automatic sprinkler systems in Accessory Buildings. Owners are encouraged to consider installing an automatic sprinkler system in additional Structures on the Homesite, but at this time only the Residence is required to have the system. Attached garages and attics in the Residence are not required to be sprinkled.

# 7.0 LANDSCAPE GUIDELINES

## 7.1 GENERAL DESIGN CONSIDERATIONS

The landscape design should blend with the architectural design of the Structures and the overall natural environment of The Tree Farm. Plant materials should be carefully selected and placed based on the appropriate Defensible Zone designation (See 7.2). Approved plants are specified in Appendix C. It is not intended for landscaping to follow the Building Envelope boundaries; rather it should blend and look appropriate for the surrounding native landscape and topography.

## 7.2 DEFENSIBLE LANDSCAPE ZONES

There are three defensible landscape zones (also referred to as Fire Prevention Zones). The concept of defining defensible landscape zones was developed in the late 1990's following breakthrough experimental research into how structures ignite due to the effect of radiant heat. The "Zone" concept is also part of the Firewise/USA Community recommendations, which these Design Guidelines have incorporated. Limiting the amount of flammable vegetation and materials surrounding a Structure and increasing the moisture content of the remaining vegetation are the primary goals of these standards. The defensible zone method of landscaping must be demonstrated by the Owner in the schematic design submittal.

**Zone 1:** encircles all Structures and all attachments (decks, patios and fences) for at least 30 feet on all sides.

- Create a "fire-free" area within five feet of Structures, using non-flammable landscaping materials and/or high moisture plants
- Mulch is a combustible material and discouraged in Zone 1 outside of the "fire-free" area
- Select plants that are low-growing and free of resins/ oils/waxes that burn easily
- Lawn is permitted and should be mowed regularly
- Prune trees up six to ten feet from the ground, juvenile trees are not to be pruned up higher than 20% of the tree's height or as advised by an arborist
- Space conifer trees 20-30 feet between crowns
- No branches should overhang Structures
- Remove dead vegetation within 30 feet of Structures
- Consider fire-resistant material for patio furniture, play structures, swing-sets, etc.
- No firewood storage is permitted unless it is in an enclosed, fire-resistant structure
- No propane storage tanks are permitted in this zone, propane tanks on barbeques are permitted.

- ❑ Water plants and trees regularly
- ❑ Consider xeriscaping to conserve on water usage

**Zone 2:** 30-100 feet from the Residence. Plants in this zone should be low-growing, well-irrigated and less flammable.

- ❑ Leave 30 feet between clusters of two to three trees, or 20 feet between crowns
- ❑ Encourage a mixture of deciduous and coniferous trees
- ❑ Create ‘fuel breaks’, like driveways, gravel walkways and hardscapes, and lawns
- ❑ Prune trees up six to ten feet from the ground, juvenile trees are not to be pruned up higher than 20% of the tree’s height or as advised by an arborist
- ❑ Consider fire-resistant material for patio furniture, play structures, swing sets, etc.
- ❑ No firewood storage is permitted unless it is in an enclosed, fire-resistant structure
- ❑ No propane storage tanks are allowed in this zone

**NOTE:** For Homesites 37, 43, 44, 48, 49, and 50, Zone 2 treatments will extend beyond 100 feet to the lot boundary. This is due to a >20% slope and compliance with the WHMP.

**Zone 3:** 100 – 200 feet from the Residence. This area should be thinned and free of heavy shrubs and brush.

- ❑ No new plants in this area, leave as native vegetation
- ❑ Remove smaller conifers that are growing between taller trees
- ❑ Remove heavy accumulation of pine needles, woody debris, and diseased trees
- ❑ Reduce the density of tall trees so canopies are not touching
- ❑ No irrigation in this area
- ❑ Consider fire-resistant material for patio furniture, play structures, swing sets, etc.
- ❑ No firewood storage is permitted unless it is in an enclosed, fire-resistant structure
- ❑ No propane storage tanks are allowed in this zone

### **7.3 TREE REMOVAL and PRUNING**

In addition to the tree management as discussed in Section 7.2, Defensible Landscape Zones, tree removal is permitted on homesites for the purpose of enhancing mountain or specific “points of interest” views. Clear cutting is not permitted. The intent for tree removal beyond the construction footprint is to provide views for owners from their Homesite while retaining a natural and forested setting.

Trees under 8 inches in diameter at breast height (DBH) may be removed if they are in poor health, poor form, or diseased. Healthy trees under 8 inches DBH may be thinned to an average spacing of 14 feet between trees, or as approved by the ARC. Any tree over 8 inches DBH and outside of the construction footprint that owners wish to remove will be considered by the ARC after the home is framed.

Removing lower limbs (pruning) of trees to improve views and reduce fire fuel ladders is encouraged. Juvenile trees are not to be pruned up higher than 20% of the tree’s height or as advised by an arborist. Mature trees are not to be pruned higher than one-third of the live green crown.

## **7.4 TIME of INSTALLATION**

All landscaping must be installed prior to requesting a final approval from the ARC and within 6 months of the completing the construction of the approved Structures.

## **7.5 IRRIGATION**

All newly planted landscape areas within Zone 1 and Zone 2 must be irrigated. Use of automated water-conserving irrigation products and equipment is encouraged. Xeriscape design concepts may be used. Existing native areas shall not be permanently irrigated, see section 7.6 for irrigation rules for revegetated areas. All irrigation plans must be reviewed and approved by the ARC.

## **7.6 MAINTENANCE**

All landscape and irrigation on a Homesite shall be maintained by the Owner at a level consistent with the requirements of the WHMP, WPMP, and defensible landscape zone concept. All dead or dying plants shall be replaced promptly. Areas adjacent to parking areas shall be maintained free of dry grasses and fine fuels in order to reduce the risk of ignition from hot exhaust systems or other means.

## **7.7 REVEGETATION**

All areas disturbed during construction must be revegetated. Disturbed areas in Zone 3 must be revegetated to remain native and blend with the existing native conditions. Irrigation systems are allowed in revegetated native areas for up to two years after the landscape improvements have been completed.

Disturbed areas in Zone 1 or 2 shall be revegetated with plants and trees on the Approved Fire-Resistant Plants and Trees list in Appendix C.

## **7.8 GRADING**

All construction related grading should be done in a manner so that finish grade blends with existing topography. Cut and fill areas should be minimized. Grading and other construction activity around existing trees should remain outside drip lines. If grading within drip lines cannot be avoided, terracing or tree well details must be reviewed and approved by the ARC before construction activity begins.

## **7.9 GARDENS**

Gardens are permitted and must be shown on the site and landscape plans. Gardens may be enclosed by fencing and the total enclosed area is subject to ARC review and approval. Welded wire fencing up to eight (8) feet in height is permitted only for the purpose of restricting wildlife access to garden or landscaped areas (see Section 5.3 (B)), and is limited to an area of 2,500 square feet.

## **7.10 SEPTIC SYSTEMS**

Grass or shallow-rooted vegetation are the best landscape cover for septic systems. Do not plant trees or shrubs over septic tanks or drain fields as the water-seeking roots of these plants can damage your septic system.

No Structures, patios, decks, or driveways shall be constructed over the drain field or septic tank. The system should be kept accessible for proper maintenance and repair and the drain fields need oxygen in order to work properly. Keep all vehicles off, and direct water and roof drains away from the septic tank and drain field areas.

## **8.0 CONSTRUCTION GUIDELINES and REGULATIONS**

In order to ensure that Homesites are not irreparably damaged during the construction of the Improvements, the following construction guidelines and regulations must be followed. All construction is subject to codes and ordinances as adopted by the State of Oregon and Deschutes County, as well as applicable standards of NFPA 1141 and 1144.

The ARC will monitor the Homesite during the construction period. Violations of these construction guidelines and regulations will be communicated to the offending party(ies) and the Owner with the understanding that immediate action will be taken to remedy the situation.

The ARC reserves the right to deny Homesite access to any builder, sub-contractor, or supplier who is in violation of these construction guidelines and regulations and reserves the right to stop construction on a Homesite where:

- A. The Improvements are being constructed or landscaped contrary to approved plans.
- B. The Tree Farm CC&Rs, Design Guidelines, or Rules and Regulations are not complied with fully.

If an order to stop work is issued, all work at the identified Homesite must cease as specified in the terms of the written stop work order. Stop work orders may be issued for, but not limited to, violations of The Tree Farm CC&Rs for Improvements that are made without ARC approval, and repeated violations of these Design Guidelines.

### **8.1 CONSTRUCTION AREA PLAN**

The Owner or Builder shall provide the ARC with a detailed Construction Area Plan clearly indicating how the land and vegetation will be protected and delineating the limits of construction activity on the Homesite. The plan shall include: limits of excavation, drive and parking areas, sanitary facility location, temporary structures (if any), dumpsters, and location of fire suppression equipment (fire extinguisher and water supply). The use of temporary fencing to protect existing trees during construction is encouraged.

### **8.2 CONSTRUCTION ACCESS and PARKING PLAN**

Construction access during the construction period shall be over the approved driveway for the Homesite, unless the ARC approves an alternative access. Fire department vehicular access to the construction activity must be provided at all times over durable surfaces. If access surfaces become soft, the ARC may request additional material be added to the surface to provide for safe passage of emergency fire vehicles.

Prior to construction activity beginning, the Builder must schedule a meeting with a representative from the ARC to establish a parking plan for the duration of the construction activity. Vehicles may only be parked within the Building Envelope, driveway, or within the approved construction parking plan boundaries. On street parking is prohibited, except for temporary parking during periods of high construction activity when all approved on-site parking areas are occupied.

### **8.3 TEMPORARY STRUCTURES**

Temporary structures must be located within the Homesite's Building Envelope, and must be approved by the ARC as to size and location. All temporary structures must be removed prior to final inspection. Any damage caused by the placement, use or removal of such structures must be restored at the Owner's or Builder's expense prior to final inspection and approval by the ARC.

### **8.4 STORAGE of CONSTRUCTION MATERIAL/EQUIPMENT**

The location for the storage of construction materials and equipment shall be designated on the approved Construction Area Plan prior to commencement of construction activity. All storage areas must be within the Building Envelope. The Builder and Owner are responsible for the security and maintenance of the material and area.

## **8.5 DAILY OPERATION**

Hours of operation for construction activity are:

Monday through Friday: 7:00 am to 7:00 pm

Saturday: 8:00 am to 4:00 pm

Sunday: Interior finish work only

## **8.6 BLASTING**

Any plans for blasting must be reviewed and approved in advance by the ARC. Proper safety and protection shall be used, and evidence of insurance coverage shall be provided to the ARC with the Association named as an additional insured. A pre-blast survey of adjacent properties is required.

## **8.7 DAMAGE and REPAIR**

The Owner and Builder are responsible for repairing any damage to roadways or pathways caused by construction vehicles or equipment related to their construction activity. Damage not repaired in the timeframe requested by the ARC will be repaired by the Association and charged against the refundable deposit. If the deposit is insufficient, and the Owner does not reimburse the Association, the unreimbursed amount will become a lien against the applicable Owner's Homesite, pursuant to the CC&Rs.

## **8.8 DUST, NUISANCE and NOISE CONTROL**

Builders are responsible for dust and noise control on a Homesite during the construction period. Irrigation of loose dirt should be used as the preferred dust control measure; however, any solution must be effective 24 hours a day.

Radios or other audio equipment are permitted, but must be monitored and cannot be a nuisance to an adjacent property.

## **8.9 EXCAVATION**

Excavation shall be confined to the Building Envelope. Any excess excavation material from the site stored for future use must be placed on the Homesite within the Building Envelope, and any excess that is not planned for future use must be removed from the site prior to final inspection. Vegetation shall be modified to mitigate hazardous conditions within 30 ft. (9 m) of the foundations prior to start of construction.

## **8.10 DEBRIS and TRASH REMOVAL**

Daily and proper disposal of refuse, including slash from vegetation clearing, and storage of material is the Owner's and Builder's responsibility. Debris and trash shall be picked up daily and stored in covered trash containers. Wind can be a significant issue with trash dispersal and all Builders must be proactive in controlling their debris and trash so it does not blow onto or impact adjacent Homesites or common areas. A separate receptacle for crew's food waste and other garbage must be provided and dumped weekly.

## **8.11 SANITARY FACILITY**

Builders are responsible for providing a sanitary facility in good condition for construction crews. This facility must be maintained and cleaned weekly such that it shall be sanitary and odorless.

## **8.12 BUILDER AND DESIGN PROFESSIONAL SIGNAGE**

One sign referencing the Design Professional and/or Builder is permitted on the Homesite once the Schematic Plan has been submitted. Signs shall be no larger than 36 by 48 inches and must be submitted to the ARC for review and approval.

### 8.13 FIRE EXTINGUISHER and FIRE PROTECTION MEASURES

A minimum of one serviceable dry chemical fire extinguisher (minimum 5 lb. Class ABC) shall be located on each construction site and in a visible location for the construction crew. Extreme caution shall always be taken to prevent any sparks from being strewn out of the immediate work area. Builders are responsible for ensuring that cutting and welding operations are conducted in areas free of combustible vegetation and other combustible materials. An operable water system must be available during the entire construction period.

### 8.14 BURNING and SMOKING

No burning is allowed on construction sites. Builders must supply a designated smoking and safe cigarette disposal area within the disturbed construction area. Fireworks, charcoal fires, and other open flames are prohibited. Violators will be required to leave the site and owners are subject to fines for violators working on their Homesite.

### 8.15 PETS

Builders, sub-contractors and their employees are prohibited from having unleashed or uncontrolled dogs and other pets on the construction site.

### 8.16 FIREARMS

Possession of or discharging firearms by a Builder, a sub-contractor or their employees is prohibited anywhere within The Tree Farm.

### 8.17 UTILITIES and SEPTIC SYSTEMS

All utility connections to Residences and Structures must be placed underground and meet Deschutes County Building Code. Excavation for the utility work must be restored to its original native condition or landscaped according to the approved landscape plan.

Electrical, natural gas, phone, cable, and water utility lines or pipes are provided to the property boundaries of each Homesite. The providers are as follows:

- Electric power PacifiCorp

NOTE: Additional transformers may be required on lots to ensure voltage at the service entrance to each home. Lead time for ordering is 4-6 weeks (6-8 weeks in peak construction time). We encourage you to contact PacifiCorp sooner than later to determine what is needed at the entrance to your site.

- Natural gas Cascade Natural Gas
- Telephone/cable Bend Broadband and Century Link
- Water City of Bend

**Due to the topography of The Tree Farm in relation to the City of Bend water source, most Homesites will require a booster pump system to achieve acceptable water pressure. Owners should have water pressure tested to determine if they require a booster pump system to serve the planned Improvements.**

- Septic Each Owner is required to install a Deschutes County approved septic system.

Preliminary septic site evaluations have been completed by Deschutes County for each Homesite and results of those evaluations will be provided upon request.

## **9.0 MODIFICATIONS TO APPROVED DESIGNS**

### **9.1 DESIGN CHANGES**

Any physical changes to the exterior of a residence, building or landscape must be reviewed and approved by the ARC before work commencing. Unapproved construction or changes may be subject to fines per Appendix O.

### **9.2 REMODELING, ADDITION, or ALTERATION**

Any exterior remodel, addition, or alteration to an existing home, structure or landscaping must meet the same criteria as new home construction. A Pre-Design meeting is strongly encouraged with the ARC for remodeling projects. Applicant must pay the submittal fee and construction deposit per Appendix M. Review and approval is required by the ARC prior to any work commencing. Remodel, addition or alteration approvals will remain valid one year from the date of written approval. See Appendix N for a Remodel, Alteration or Addition Submittal Form.